



WAHROONGA ESTATE

161-163 AND 167-169 FOX VALLEY ROAD , WAHROONGA

Council RFI Response Document - 19.05.2023

This document has been prepared to inform the council of updates of amendments made to the drawings that specifically responds to the queries raised within the Ku-ring-gai Council letter of summary of amendment - amendments and clarifications required.

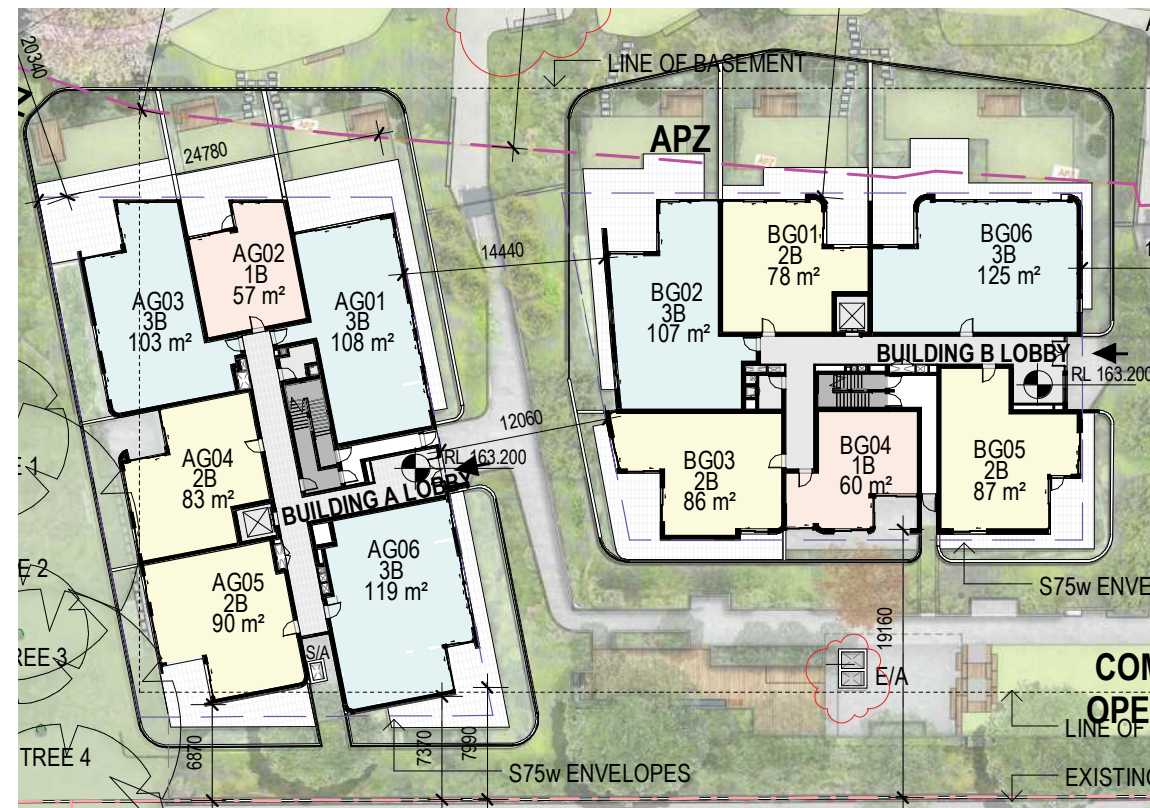
1. CHANGES TO PRIVATE OPEN SPACES – BUILDINGS A AND B

The proposed modification appears to involve changes to a number of the terraces as a consequence of the proposed amalgamation of the units within Buildings A and B. The modifications to the private open space areas of the units should be detailed on the plans and within Section 3.1 of the Statement of Modification.

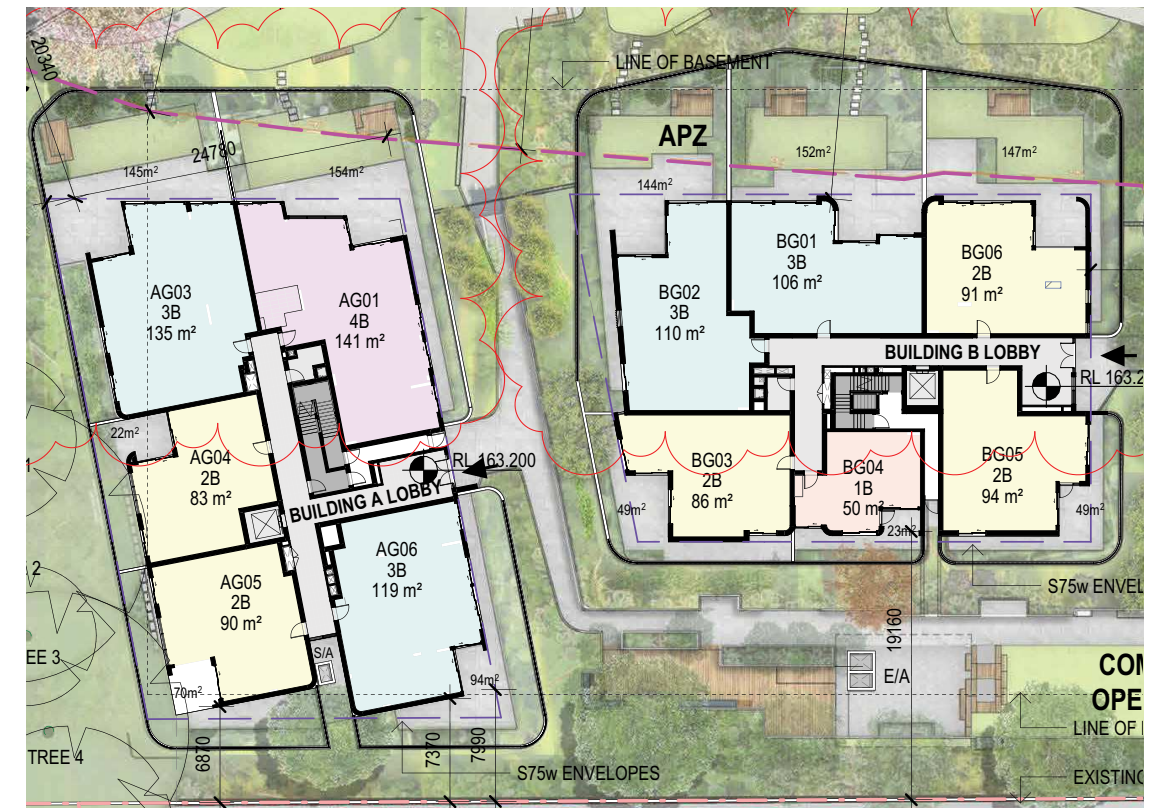
A schedule should be provided on each of the floor plans that clearly detail the changes to that plan as compared to that which was approved.

Response

1. Changes have been clouded on relevant sheets with a tag that corresponds to the change.
2. A schedule has been added to each sheet, listing all changes per sheet.
3. Changes to private open spaces have been included in the plans - refer to General Arrangement Plans A2003-A2008



GENERAL ARRANGEMENT PLAN - GROUND FLOOR
(DA APPROVED SCHEME)



GENERAL ARRANGEMENT PLAN - GROUND FLOOR
(SECTION 4.56 SCHEME)

2. CHANGES TO UNIT MIX – BUILDINGS A AND B

It would also be of great assistance if the changes to the unit mix per floor level of the buildings could be detailed on the plans. Whilst a table of the proposed mix as part of the modification application is included, it would be useful if the DA approved mix per floor level of the building was also included on each of the plans.

Response

1. DA approved Unit Mix has been added to all sheets that show the proposed unit mix. These schedules are as per the shedules to the left - refer to General Arrangement Drawings: A 2003 - A 2010

DA APPROVED MIX

APARTMENT MIX				
	<div></div>	<div></div>	<div></div>	
LEVEL	1 BED	2 BED	3 BED	TOTAL
LG	-	2	2	4
GF	3	11	13	27
L1	5	19	9	33
L2	5	19	9	33
L3	5	18	9	32
L4	4	13	7	24
L5	4	13	7	24
	26	95	56	177
PERCENT	14.7%	53.7%	31.6%	

LHA SILVER UNITS
LHA PLATINUM UNITS

84.3% X 177 = 150 UNITS
15.7% X 177 = 27 UNITS

APARTMENT MIX SCHEDULE
(DA APPROVED SCHEME)

APARTMENT MIX					
	<div></div>	<div></div>	<div></div>	<div></div>	
LEVEL	1 BED	2 BED	3 BED	4 BED	TOTAL
LG	-	2	2	-	4
GF	2	11	12	1	26
L1	4	15	12	-	31
L2	4	15	12	-	31
L3	4	15	11	-	30
L4	3	9	10	-	22
L5	3	9	10	-	22
	20	75	70	1	166
PERCENT	12.0%	45.2%	42.2%	0.6%	

LHA SILVER UNITS
LHA PLATINUM UNITS

84.3% X 166 = 140 UNITS
15.7% X 166 = 26 UNITS

APARTMENT MIX SCHEDULE
(SECTION 4.56 SCHEME)

3. CHANGES TO FAÇADE

The proposed changes to the façade including materials are unclear. It would be beneficial to provide specific details relating to the changes to the materials and finishes. A schedule providing a comparison between the approved and the proposed would assist in this regard.

Response

The provided schedule shows the DA approved scheme versus the Section 4.56 scheme. As shown in the schedule, changes to the finishes are minor and still reflect the initial intent of the approved scheme.

	DA APPROVED SCHEME		SECTION 4.56	
	BR 01	BOWRAL BRICKS BLEND	BR 01	BOWRAL BRICKS BLEND
	LV03	ALUMINIUM LOVURES / SAME FINISH FOR HORIZONTAL AWNINGS	LV03	ALUMINIUM LOVURES / SAME FINISH FOR HORIZONTAL AWNINGS
	LV01	PLANT LOUVRES	LV01	PLANT LOUVRES
	P01	DARK GREY PAINT PRE- FINISHED PANEL / RENDERED WALL	P01	DARK GREY PAINT FINISH
	P02	WHITE PAINT FINISH PER-FINISHED GRC PANEL / CEILING AND ROOF	P02	WHITE PAINT FINISH
		VIRIDIAN CLEAR EXTERNAL GLAZING		CLEAR EXTERNAL GLAZING
		VIRIDIAN GREY (NEUTRAL) INTERNAL GLAZING		GREY (NEUTRAL) INTERNAL GLAZING
	BAL	FRAME-LESS STAND OFF GLASS BALUSTRADE	BAL	FRAMELESS STAND OFF GLASS BALUSTRADE

3. CHANGES TO FAÇADE

The proposed changes to the façade including materials are unclear. It would be beneficial to provide specific details relating to the changes to the materials and finishes. A schedule providing a comparison between the approved and the proposed would assist in this regard.

Response

The images show the artist's impression of both the DA approved scheme and the Section 4.56 scheme. Evident from the comparison, the original design intent of approved DA scheme has been maintained as well as the material pallet. Although some design elements have been modified for build-ability purposes, they continue to provide a high design quality.



VIEW OF BUILDING C
(DA APPROVED SCHEME)



VIEW OF BUILDING C
(SECTION 4.56 SCHEME)

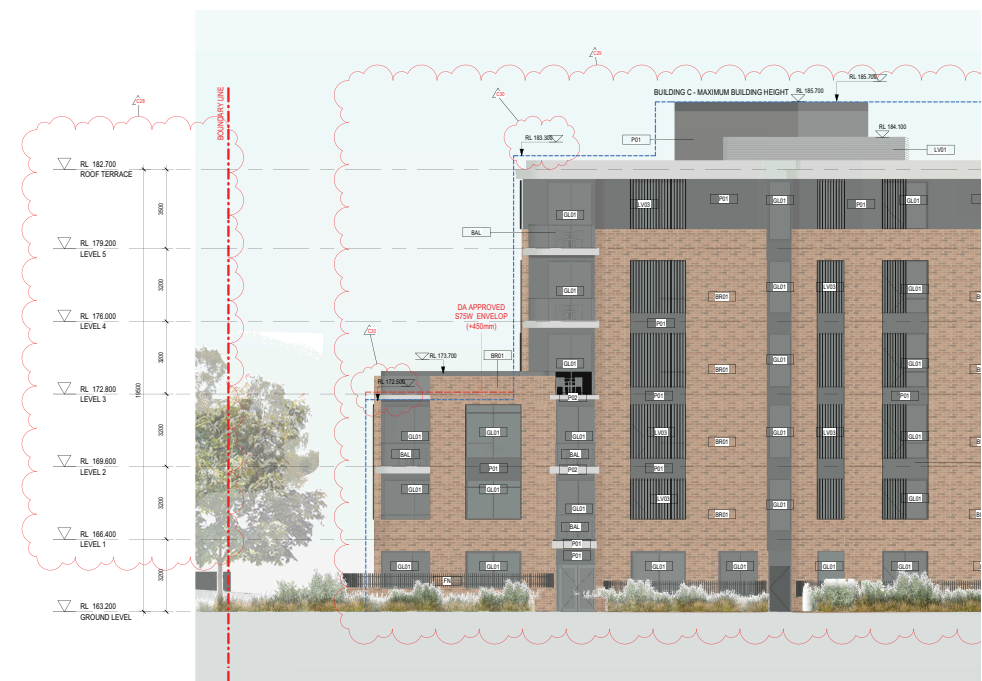
4. HEIGHT

Council’s calculation of the variation sought is 1.15m on the western elevation and 1.2m on the eastern elevation – Building C. This is based off a variation to the maximum RLs indicated on Drawing A007, Section 75W – Urban Form Control Diagrams – Roof Plan Issue G dated 24/07/2020 forming Condition A8(1)(j) of Concept Plan MP07_0166 (as modified). The breach appears to extend to the balustrade and brick wall/s.

(a). It would be of great assistance if the approved heights of the balustrades including RL’s could be indicated on the eastern and western elevations of Building C so that it is clear as to the proposed additional height and the elements that contribute to that additional height.

(b) The applicant’s request to vary the building height to this portion of building has not identified adequate planning grounds to justify the variation. This will need to be further justified and reflect the actual breach sought to this portion of the building.

(c) Maybe an additional section through Building C, in addition to Drawing No. A3103, Issue F, that clearly indicates the additional height. The additional height variation appears to relate to both the brick parapet and the glazed balustrade that is setback from the edge of the building, however it is difficult to determine based on the information submitted as part of the application.



SECTION 4.56 - Building C - East Elevation (Sheet A 3021)

Response

The envelope has been updated to reflect approved section 75W Envelope - Refer to all Elevations and Sections.

a. The approved heights of the balustrades, including RLs have been indicated on the Eastern and Western Elevations of Building C - refer to submitted drawings A3021-ELEVATION - BUILDING C_Rev H and A3023-ELEVATION - BUILDING C WEST_RevG

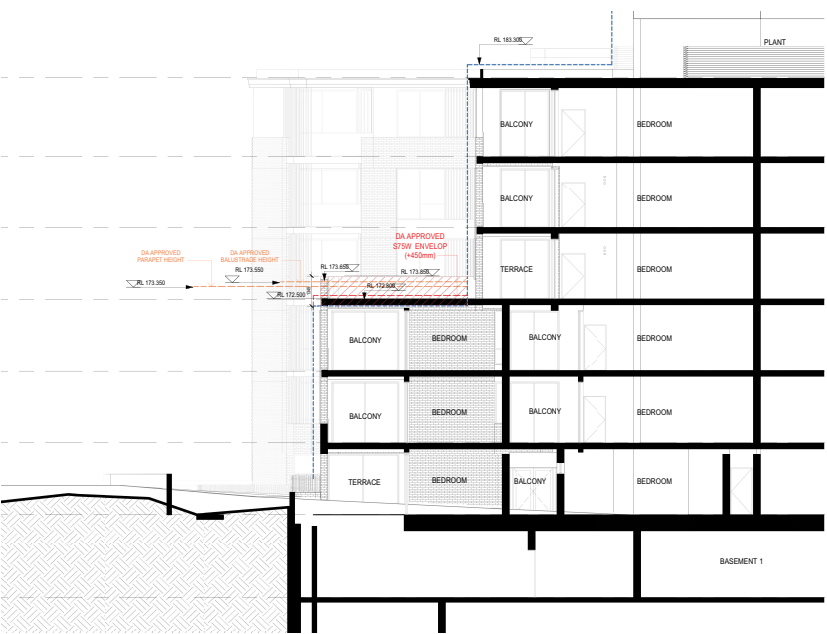
b. The Sections and elevations have been updated to reflect the proposed breach. Refer to item 4(a) on page 8 for further justification.

c. An additional section through building C has been provided reflecting the additional height - Refer to A3106 - SECTION 02 - BUILDING C_RevA

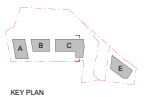
An additional height of 300mm above the approved DA scheme height is being sought.



SECTION 4.56 - Building C - West Elevation (Sheet A 3023)



SECTION 4.56 - Building C - Section 2 (Additional Section)



4.HEIGHT

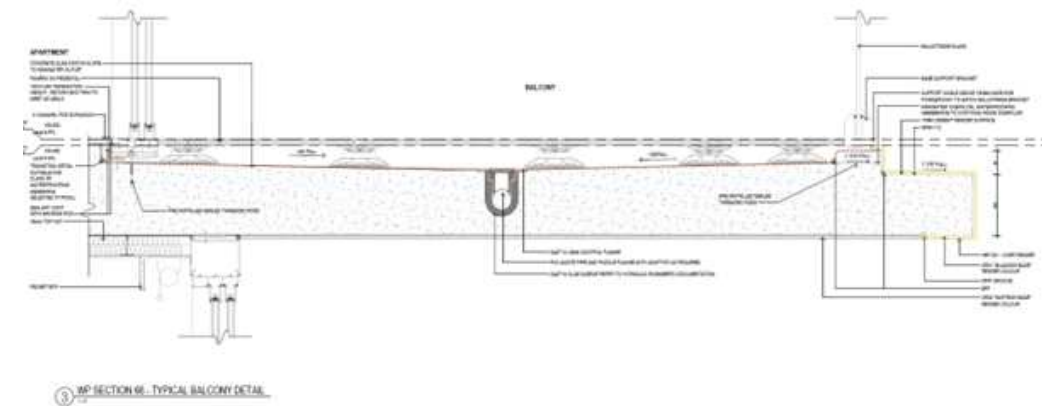
(a) Floor to floor heights

The applicant's explanation for the increased floor to floor height is: "The proposed increase in floor to floor heights arise as a result of the detailed design requiring additional ceiling area to provide the required servicing.

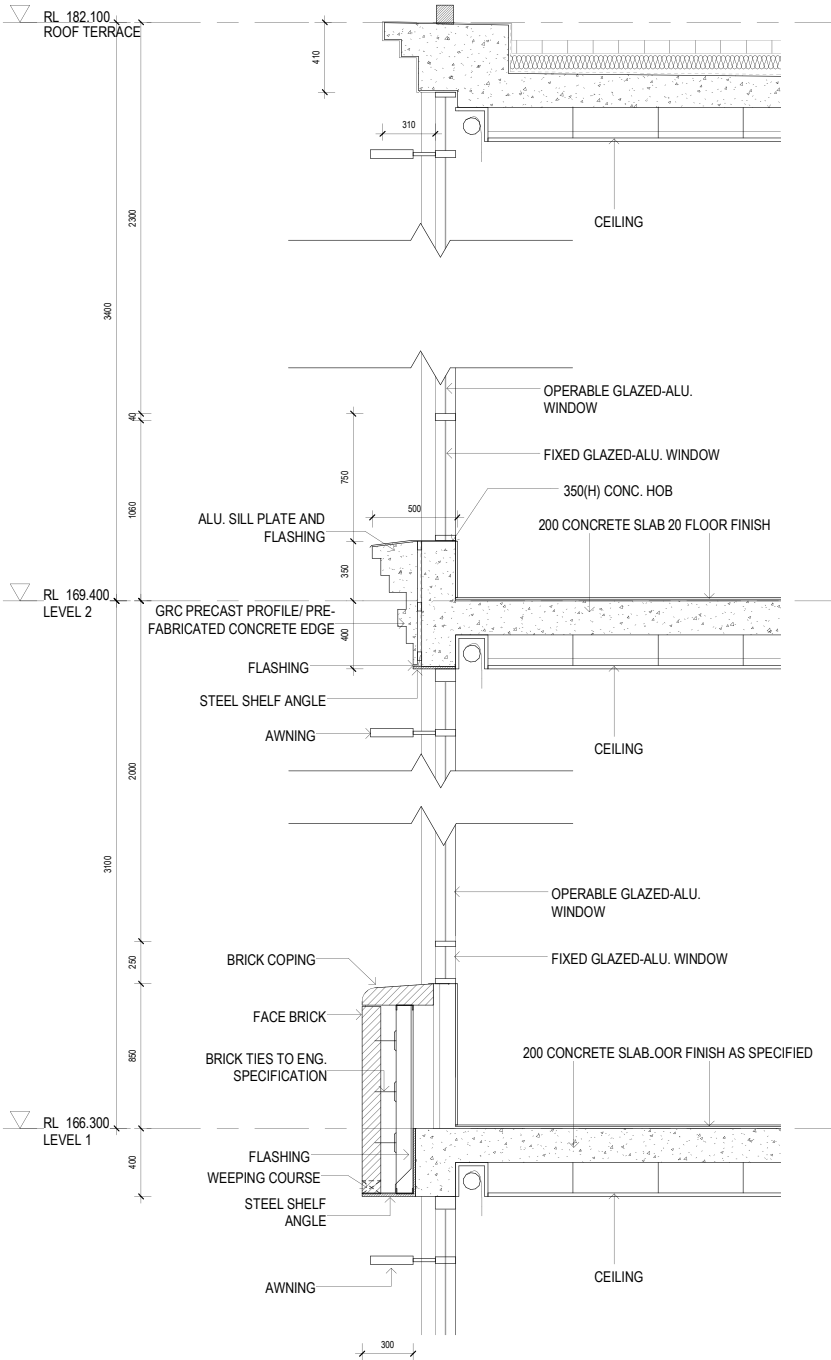
It is noted that the approved floor to ceiling heights do not change". The Section detail – Typical northern façade on Drawing A3202 Issue F nominates a slab thickness of 250mm, in lieu of the approved thickness of 200mm and an additional 50mm from the fixed aluminium window to the floor level above. Further clarification is sought to the reasoning of the floor to floor increase to each level, given the details provided do not clearly identify any services between each floor. This clarification is required to ensure that the development, as modified will not breach the building height to Building A, B and C given the proposed modifications seeks a proposed at RL185.70 (to the lift overruns), which is the maximum height limit established under the Concept Approval.

Response

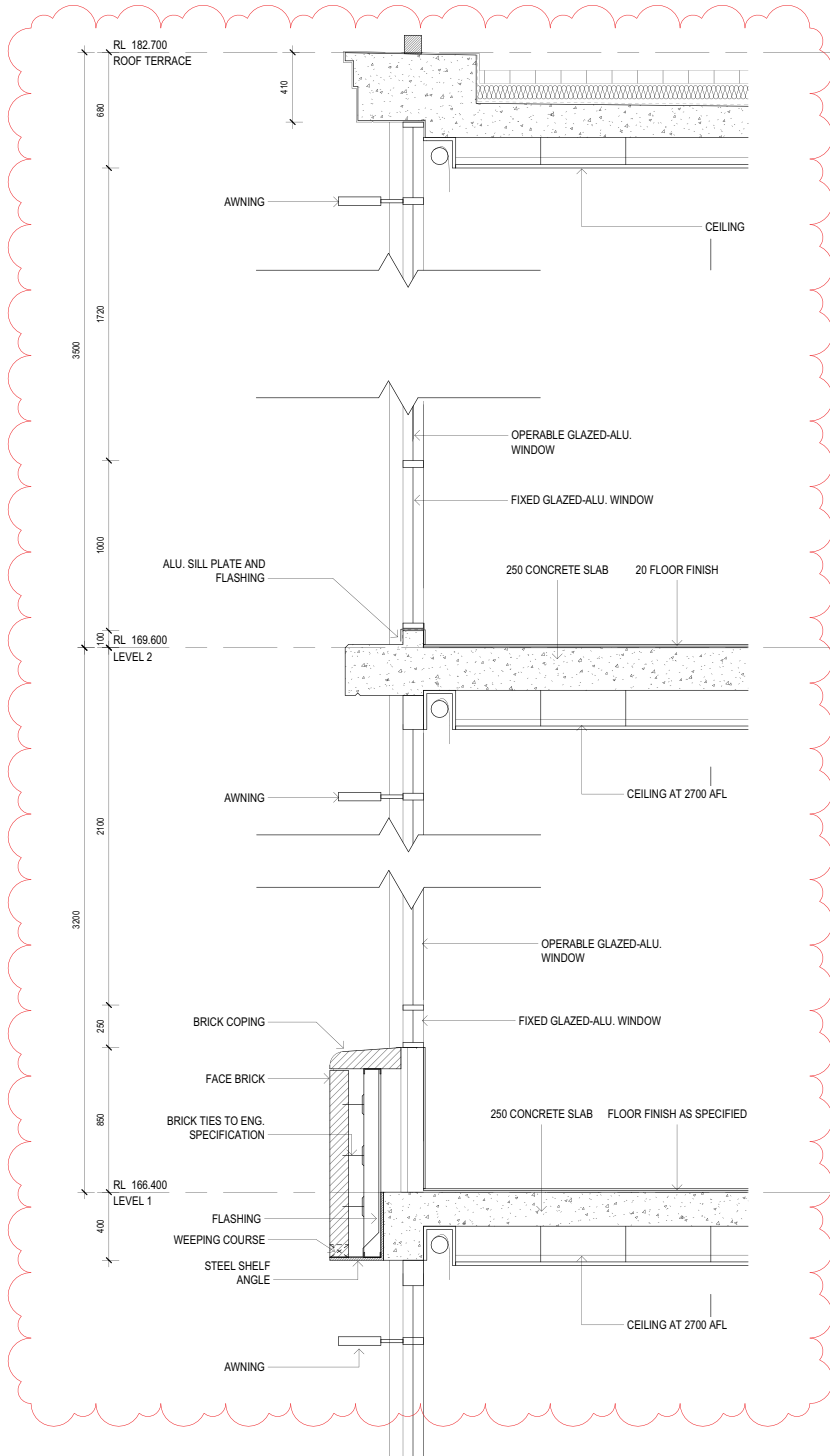
To meet compliance with new NCC 2022 and AS4654.2 / AS 3740, structural falls are required to be provided in the wet areas and balconies which achieves min 1:80 falls as opposed to 1:100 min in the previous NCC 2019. This requires the structural slab thickness to be increased by approx. 30mm nominally, conservatively rounded to 50mm. Furthermore, the proposed development seeks to achieve flush floor finish by eliminating hobs in bathrooms and balconies, thereby improving accessibility for the occupants within the apartments. This solution requires slab set downs and along with the required ceiling zone for services like mechanical ducting, drainage system, fire sprinklers and electrical services, an additional 50mm-100mm per floor plate is needed for both compliance and buildability to ensure 2700mm clear bulkhead-free clearance can be achieved to adhere to ADG requirements.



TYPICAL BALCONY DETAIL
with flush floor transition above set down, showing increased slab thickness 230mm along balcony and 300mm along the back span.



A3202-SECTION DETAIL - TYPICAL NORTHERN FACADE
(DA APPROVED SCHEME)



A3202-SECTION DETAIL - TYPICAL NORTHERN FACADE
(SECTION 4.56 SCHEME)

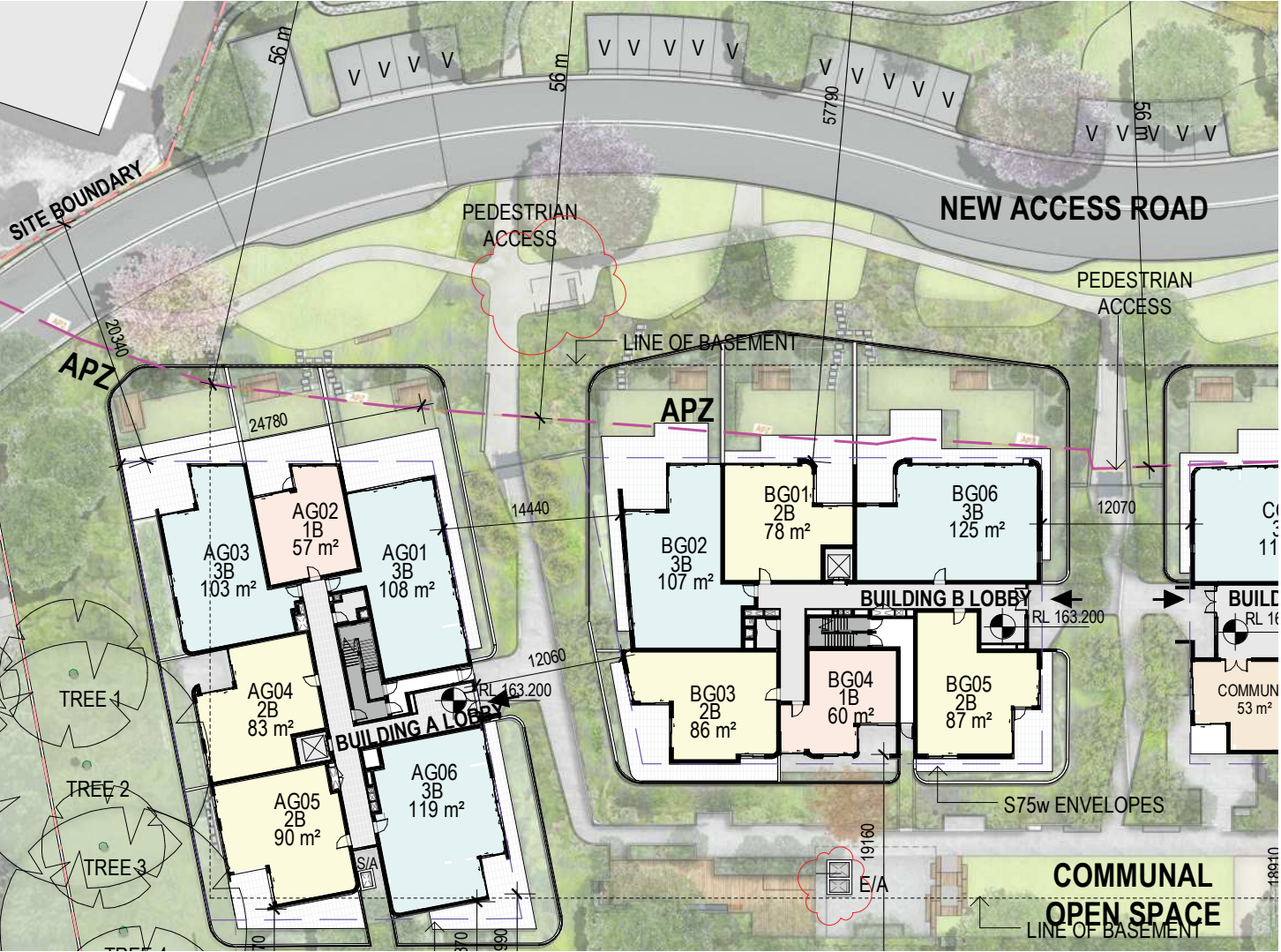
5. LANDSCAPING

Council's Landscape Assessment Officer has raised the following issue:

1. Council requires fire certification of proposed landscape works as Bushfire report has not certified the amended landscape plans. The landscape works needs to be consistent with the previously submitted fire report Section 5 fire safety strategies 1 and 2.

Response

Refer to the revised Bush Fire report for details..



6. URBAN DESIGN

(a) Facade

Council's Urban Design consultant has raised the following issues:

(a) Façade

The proposed modifications appear to include full-height and/or near full height glazed balustrades in combination with amendments to window assemblies that result in more of a glazed semi-curtain wall character.

The approved DA presented a more defined and modulated spandrel profile character that achieved a better urban design outcome than the proposed modification that has had the effect of reducing the slab expression and significantly increasing the glazed components. The DA approved spandrel and slab profiles should be reinstated if the design quality of the approved architectural character is to be achieved.

NOTE 1: As detailed above, the façade modifications have not been identified in the modification application.

NOTE 2: The architectural documents contain inconsistencies requiring clarification in light of the above comments. Section drawings indicate an upturn is retained in some instances – albeit now unmodulated – but not in others. Example - Dwg A3101 (F) for BLG A compared with dwg A3102 (F) for BLG B and dwg A3104 (F) for BLG E.



DA APPROVED SCHEME
Response

The changes in the detail have not impacted the perceived bulk and scale of the building.

The amendment to the slab expression is proposed primarily to the northern facade, where outward views to the adjacent bushland are highly desirable and would be an improvement to the internal amenity.

We note that the comment on increased glazing is more relevant in a dense urban area, but in this bushland setting, outward views and passive surveillance are an improvement.



SECTION 4.56

It is also noted that the brick spandrel detail on level 1 has been maintained, where privacy may be an issue.

In general, the solidity of all other facade has remained consistent to the DA approved scheme

(a) Facade

Council's Urban Design consultant has raised the following issues:

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Response

The sections provided in the Section 4.56 submission are as per the DA approved pack. Sections have been taken through various areas of the facade in Buildings A, B & C as per the images alongside to show the various facade treatments.



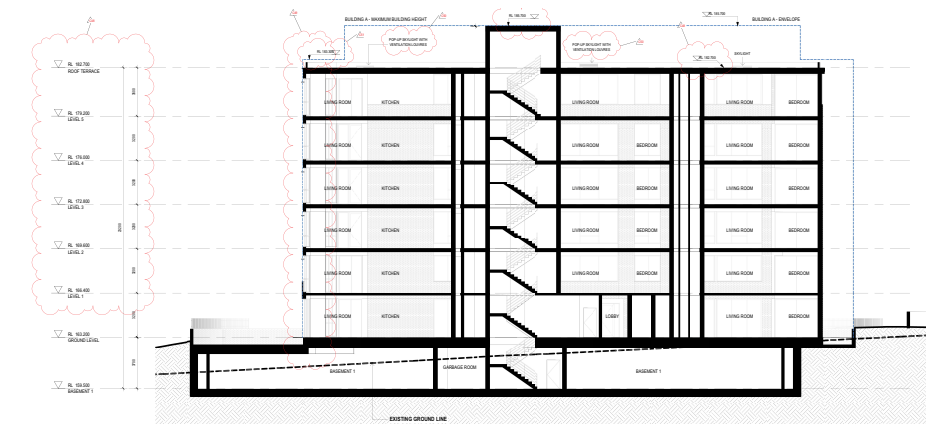
BUILDING A - NORTH ELEVATION
(SECTION 4.56 SCHEME)



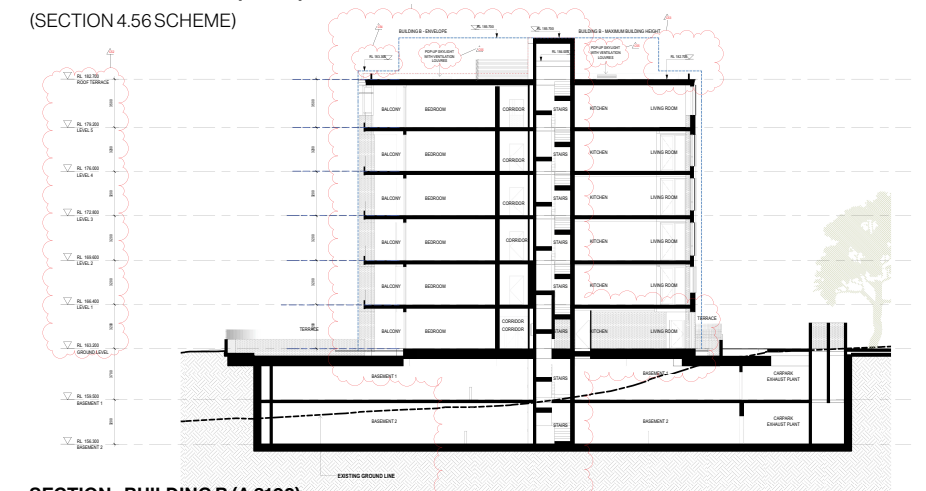
BUILDING B - NORTH ELEVATION
(SECTION 4.56 SCHEME)



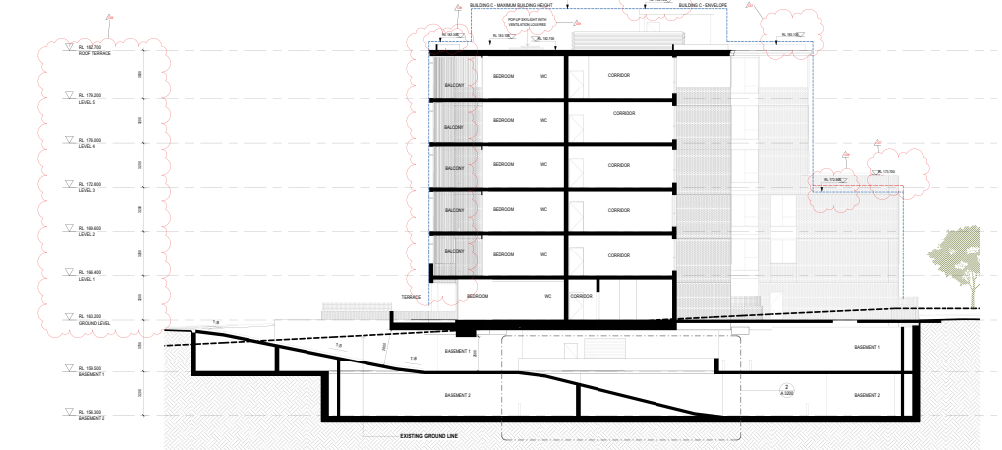
BUILDING C - EAST ELEVATION
(SECTION 4.56 SCHEME)



SECTION - BUILDING A (A 3101)
(SECTION 4.56 SCHEME)



SECTION - BUILDING B (A 3102)
(SECTION 4.56 SCHEME)



SECTION - BUILDING C (A 3103)
(SECTION 4.56 SCHEME)

6. URBAN DESIGN

(b) Built Form and Scale



Clarification - Private roof terraces – Appendix B – SEPP 65 Summary_PAN-284029 sheet 28 at Roof Design Objective 4N-2 states that:

“Private terraces are proposed on the roofs of Buildings A-D.” These do not appear on architectural documents. The comment should be deleted or the design drawings clarified.

However, private roof top terraces would not be supported because of additional built form/ roof elements already approved under previous building envelope modifications, the additional bulk that would result potentially appearing as if a seventh storey, and for consistency in Ku-ring-gai’s public policies where rooftop terrace spaces are for a communal benefit where opportunities for high-quality communal open space at ground level may be limited or undesirable.

Response

This comment has been removed from the SEPP 65 Summary as no rooftop terraces have been proposed. This was an error from an earlier scheme.

6. URBAN DESIGN

(c) Sustainability

(a) Solar shading protection

Loss of the modulated spandrel reduces shading protection. The Design Verification Statement must detail how this change will ensure appropriate shading protection to the openings. It is preferable that the modulated spandrels be reinstated to maintain solar protection.

(b) Skylights

proposed horizontal skylights present issues for managing heat loads and natural ventilation. These are to be pop-up types with vertical, operable glazing to provide adequate functionality in differing weather conditions and to provide external shading during hotter months.

Response

(a) Please refer to supporting letter provided by the Sustainability consultant (Cundall)

(b) Skylights are per the approved DA scheme. and not proposed to be modified as part of this application. It is noted that they we incorrectly labelled as “clerestory”skylights. Skylights are to be as per the detail in Section 6(e), which provides solar access through the skylight and ventilation through the surrounding weatherproof, clerestory ventilation louvres.

This letter provides further clarification on Council’s comments outlined within the ‘23.05.02 - DA preliminary review - amend MOD0173 22 546853’ document. An extract of the Council comment addressed by this letter is shown here:

(c) Sustainability

Solar shading protection - Loss of the modulated spandrel reduces shading protection. The Design Verification Statement must detail how this change will ensure appropriate shading protection to the openings. It is preferable that the modulated spandrels be reinstated to maintain solar protection.

The revised architectural design and thermal specification complies with BASIX requirements applicable to the project, based on the following glazing thermal performance:

Glazing (Glass & Frame)	- Sliding windows: U-value = 4.09 W/m2 SHGC = 0.42 - Sliding door: U-value = 3.9 W/m2 SHGC = 0.41
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Modelling was undertaken for all units demonstrating compliance with the relevant NatHERS requirements. The average NatHERS star rating performance for the project represents a significant improvement over minimum requirements, despite the absence of a spandrel in the current design. BASIX thermal comfort targets valid at the time of original DA submission roughly equate to a 5-star average NatHERS rating for the relevant climate zone. The proposed development achieved an approximately 7.5-star average NatHERS rating based on the current proposal.

6. URBAN DESIGN

(d) Amenity

Balcony balustrading - The ADG does not support full-height balcony glazing. The addition of operable screening panels and/ or solid upturns to a height that still allows excellent outlook from a seated height (400-600mm) with upper portion glazed, or partially solid with full-height components of glazing will be required.

Response

The private open space of each apartment is an important part of the design and has been a strong focus of the design thinking. In accordance with the client’s ambitions, they have been designed as to enhance residential amenity and the indoor/outdoor lifestyle of the residents.

It’s noted that the balcony sizes and proportions (defined by minimum depths), along with the increased ground floor outdoor terraces, all comply with the required criteria.

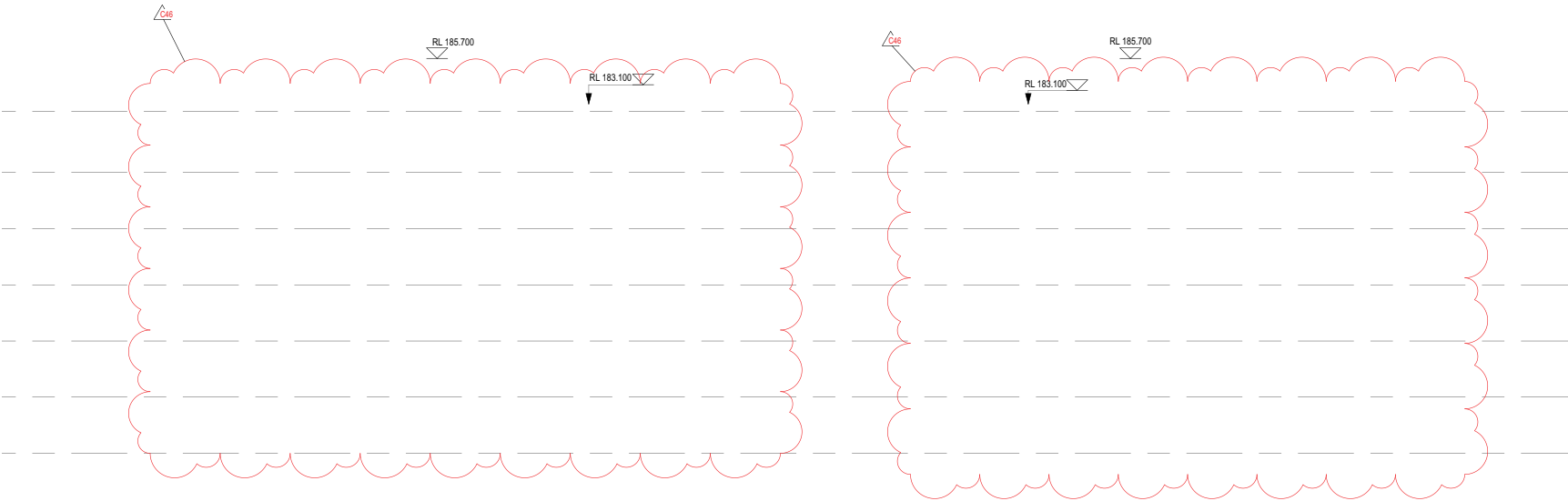
The design has appropriately located balconies to maximise available views and sunlight, whilst also being conceived as an extension of living spaces, to enhance the liveability for the occupants.

Further to this, the design has integrated the balconies to ensure they contribute to the overall architectural form and detail of the building. The building presents a number of balcony treatment and conditions, relating to orientation, view opportunities, elevation, privacy, and architectural composition. As a result, there is not one solution for the proposed balcony / balustrade detail within the development.

Acknowledging the specific comment relating to full height glazing, this is not common across the entire project. This has generally only been applied to upper levels, noting ground floor has perimeter fencing and level one has a solid spandrel, where privacy from the public domain is no longer of concern. It’s noted that in a dense urban area, this particular note to glazed balconies would be more applicable.



OVERALL NORTH ELEVATION
(DA APPROVED SCHEME)



OVERALL NORTH ELEVATION
(SECTION 4.56 SCHEME)

6. URBAN DESIGN

(e) Aesthetics

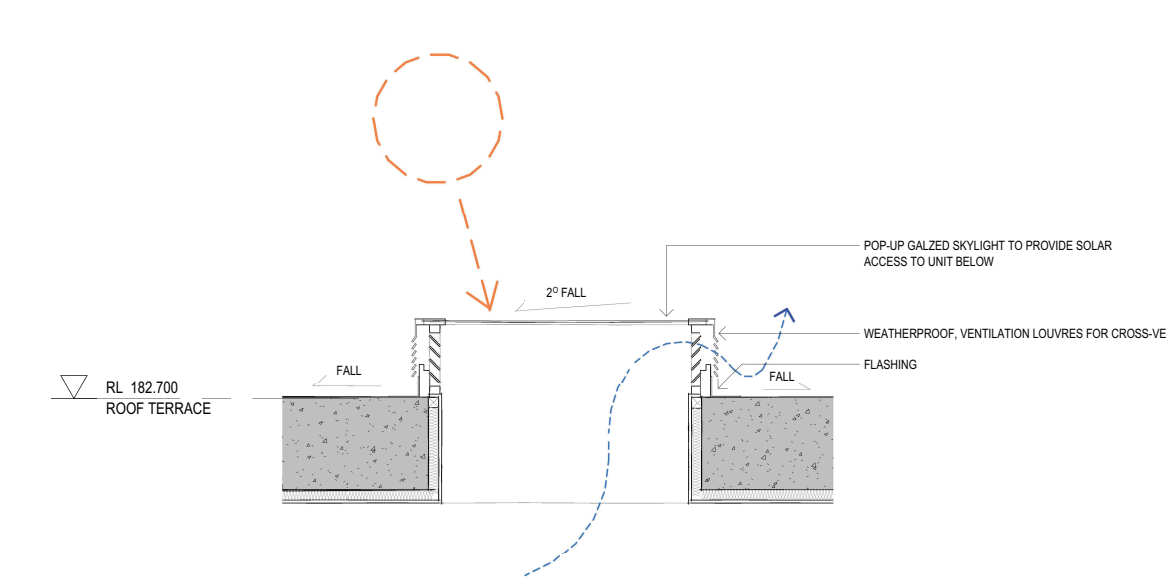
Roof design – Confirm that ‘skylights’ are pop-up roofs with vertical windows as clerestory types.

Response

Skylights have been incorrectly labelled on the drawings and are per the details shown. The skylights provide solar access through the glazing above and ventilation through the surrounding, weatherproof, louvres.

Where skylights are required for both solar and cross-ventilation purposes, a hybrid pop-up skylight with clerestory, ventilation panel configuration has been proposed.

No chnages to the DA approved design has been proposed.



SECTION DETAIL THROUGH SKYLIGHT
(DA APPROVED SCHEME)

6. URBAN DESIGN

(f) Design Verification Statement

The ADG Part 3 and Part 4 Compliance Table must be contained with the SEPP 65 Design Verification Statement as a single document to satisfy the jurisdictional requirements of the Environmental Planning & Assessment Regulation cl 29(2)

Additionally, cl 143A of the EP&A Regulation requires the design demonstrates SEPP 65 requirements are achieved or improved prior to Construction Certificate, and cl 154A requires the design demonstrates SEPP 65 requirements are achieved or improved prior to Occupation Certificate.

All proposed modifications should be addressed in an updated DVS and should demonstrate equal or superior design quality than the approved DA.

Response

Refer to SEPP 65 document which included DVS statement and 9 Design prin,,,

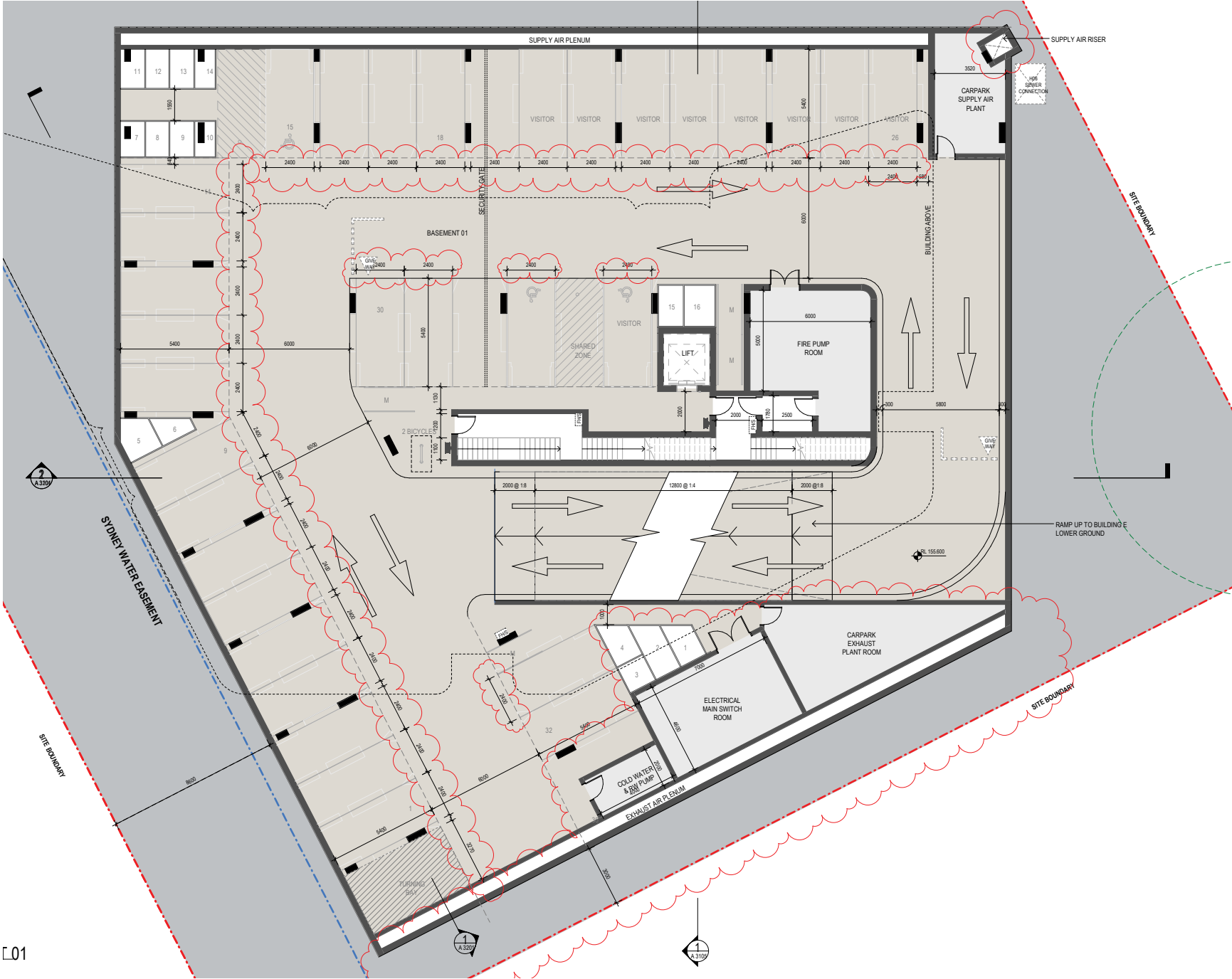
6. ENGINEERING

Car Parking 1.

At least one visitor car space is to be accessible and be provided within the basement for every 6 apartments or part thereof and is to comply with the dimensional and locational requirements of AS2890.6:2009

Response

One accessible visitors space is provided in the Building E basement 1. Note that this is as per the approved DA scheme and has not changed.



L01

BUILDING E - BASEMENT 1
(DA APPROVED SCHEME - NO CHANGES PROPOSED)

8. ADDITIONAL COMMENT PROVIDED BY THE PANEL IN COUNCIL'S BRIEFING

– 12 APRIL 2023

As advised by the Panel in the briefing with Council Officers, they would like to see –

i. Comparative plans required to cross reference with original approval including a table listing all the changes. This is particularly critical in understanding the totality of the façades changes as well as the changes to the heights of the buildings.

Response

All changes on the architectural drawing set provided have been clouded and tagged with a unique number that corresponds to a schedule of changes submitted as part of this application.

A list of changes has also been added to each drawing sheet, listing proposed changes per sheet.

For a detailed description of the proposed changes to the heights, please refer to item 4(a) - Heights, within this report. This section shows a comparison between the DA approved height and the Section 4.56 proposed heights with a justification for the change.

For material changes, please refer to item 3. (Changes to facade) on page 6 in this report. This item provides a detailed comparison between the DA approved scheme and the Section 4.56 scheme with regards to the material changes as well as some other facade changes.

The elevations to the right, provide further comparison between the DA approved facade and the Section 4.56 scheme.



BUILDING B - WEST ELEVATION
(DA APPROVED SCHEME)



BUILDING B - WEST ELEVATION
(SECTION 4.56 SCHEME)

PROPOSED MODIFICATIONS:

- + Overall building Height increased
- + Floor-to-floor height increased
- + GRC element on balconies replaced with concrete upstand
- + Extruded brickwork removed and curved brickwork squared-off
- + Fencing around courtyards adjusted
- + Max. building height envelope amended to match Section 75W.

SYDNEY

Level 7, 80 William Street
East Sydney NSW 2011
Australia

MELBOURNE

Level 4, 152 Elizabeth Street (by appointment only)
Melbourne VIC 3000
Australia

BRISBANE

Level 14, 100 Edward Street
Brisbane QLD 4000
Australia

HO CHI MINH CITY

19th Floor – Havana Tower, 132 Ham Nghi,
Ben Thanh Ward, District 1, Ho Chi Minh City
Vietnam